

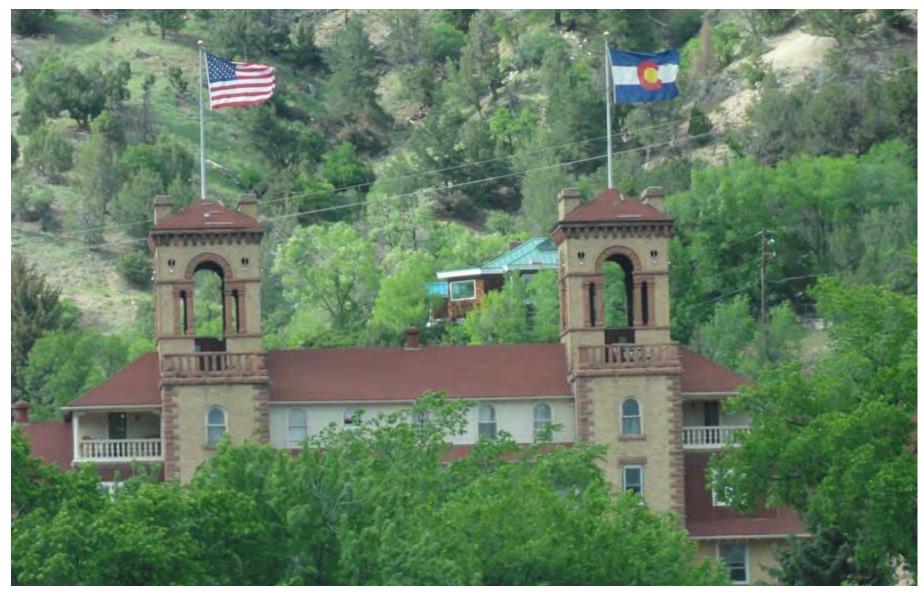
Design Elements Issue Task Force

March 12, 2014

















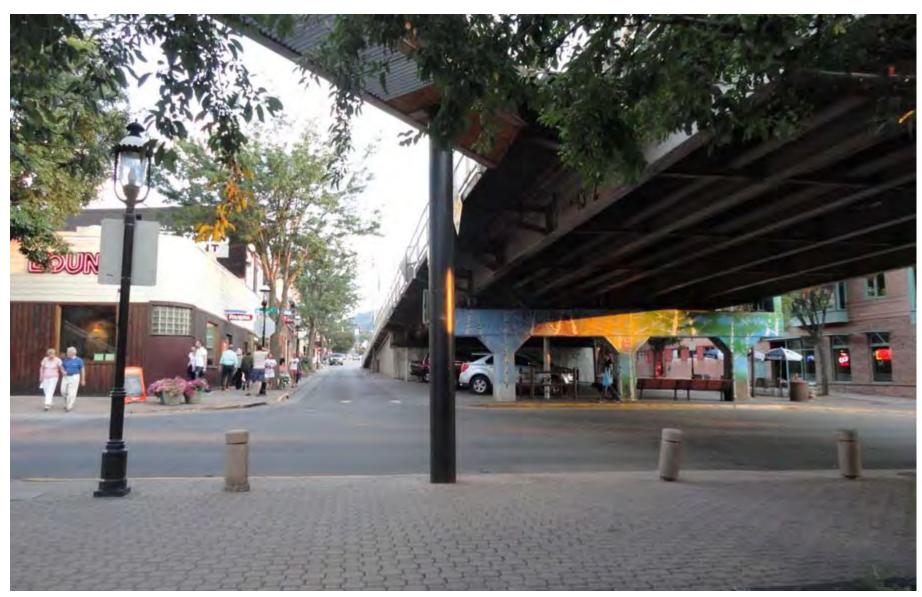












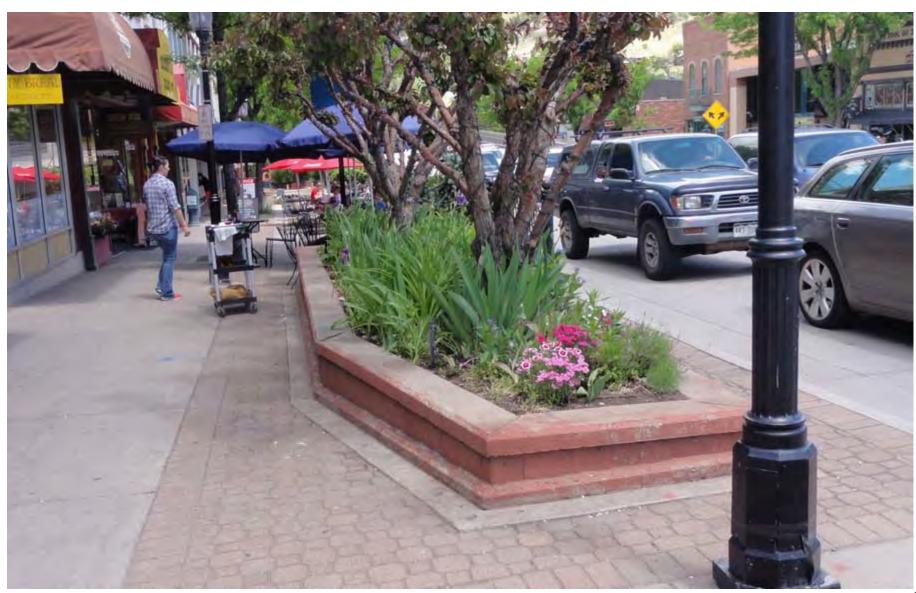








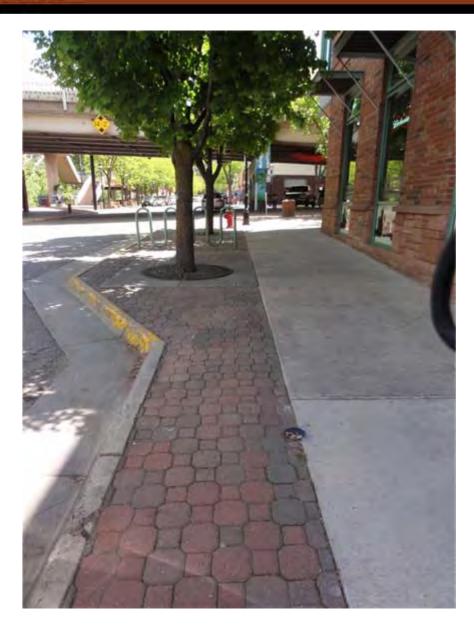
































DDA Charrette



7th Street DDA Charrette and Public Open House



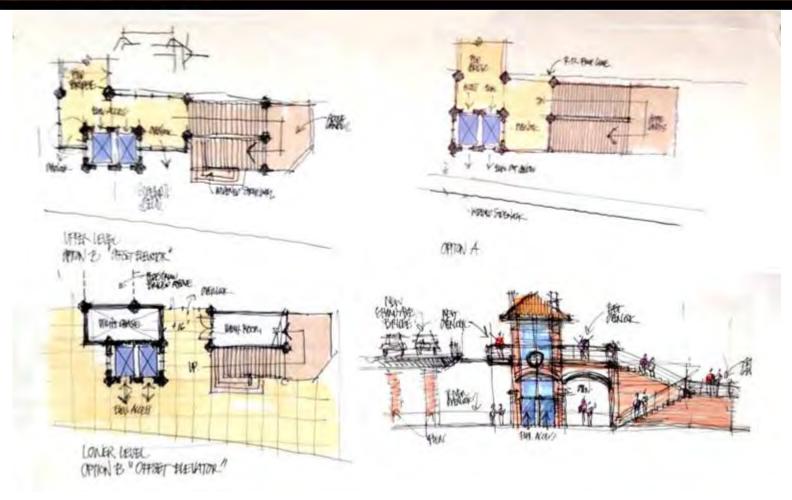
DDA Charrette



7th Street DDA Charrette and Public Open House





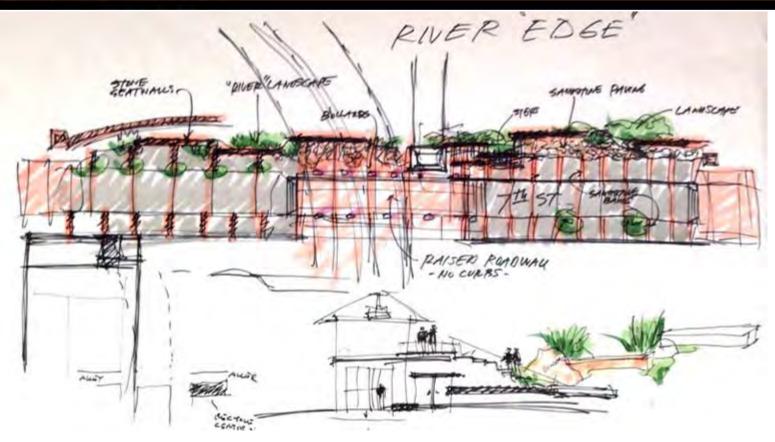


Elevator Tower Studies

 Doors facing north and south preferred option over rotated elevator cab in which doors face east and west (not shown)







River "Edge" Option

- Application of canyon "landscape" to plaza
- Linear walls transition to boulders/mountain landscape
- Extend 7th Street paving theme to north side of street
- Raise intersection at Grand Avenue to sidewalk level





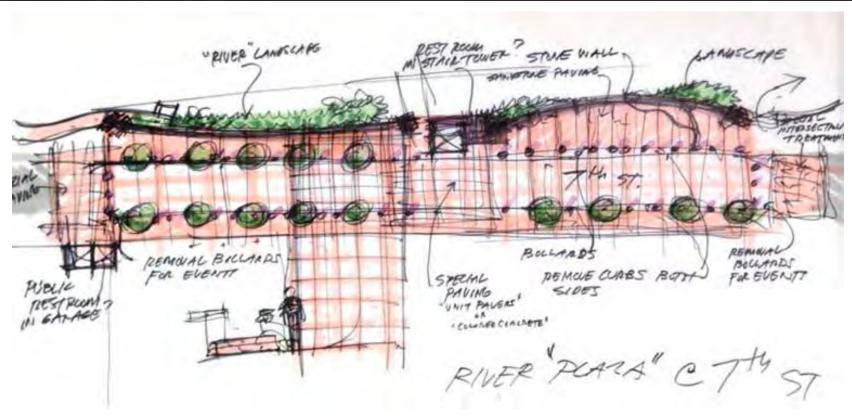


River "Park" Option

- Introduce "green" into the plaza space
- Provide moments of stone plazas to support sitting
- Special paving at intersection with Grand Avenue







River "Plaza" Option

- Street as plaza
- Strong stone seat walls to define river edge
- Extend 7th Street paving across street and through plaza
- Raise street to level of sidewalk
- Potential to close street for events



Two Layout Options:

- Layout A Tower Facing North-South Direction
- Layout B Tower Facing East-West Direction

Depot right-of-way consideration

















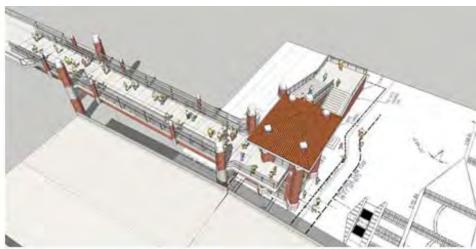






















Layout A

Pros:

- Provides more direct path to elevator from Pedestrian Bridge
- Tower location is more visible from Grand Avenue
- Layout requires less upper landing area (less cost)

Cons:

- Requires relocating 7th Street up to 6 feet (construction phasing coordination)
- Tower location creates pinch point at upper level elevator doors
- Tower location is only about 16 feet away from Grand Avenue Bridge

Layout B

Pros:

- Does not require realignment of 7th Street
- Tower location has more waiting area at elevators
- Tower location is about 32 feet away from Grand Avenue Bridge

Cons:

- Tower layout requires pedestrians to walk around elevators when using stair access
- Lower level access for elevators and stairs will be in the same area



Amtrak Retaining Walls

(If working in Depot right-of-way)

- Stairs will be removed for Pedestrian Bridge abutment
- Condition assessment of existing walls
- Replace required portion or full wall alignment
- Can use caissons to minimize impact on walls





Elevator Type and Operations

Elevator Design Criteria

- Ride-in / ride-out function
- Sized for bikes with trailers
- As much glass as possible

Elevator Type – Traction vs. Hydraulic

- Recommend hydraulic hole less two piston type
- Better option for application
- Traction requires additional room on top of elevator shaft
- Traction Estimated to be twice the cost of hydraulic

Elevator Controls

- Pedestal option for call button
- Doors on timer (no hold open or close button)
- Motion detectors for lighting (exterior and interior)
- Climate control (not required)



Elevator Type and Operations

Mechanical Room

- Estimated Size = 8 feet by 10 feet
- Less than 50 feet from elevator
- Environmental controls requires ventilation and heating (to 50 deg F)
- Machine room less elevator option requires much larger, deeper shaft



Handrails

- Woven wire fabric type
- Materials
- Finishes
- Removable option
- Costs





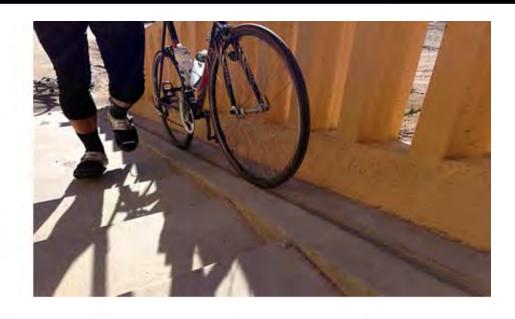


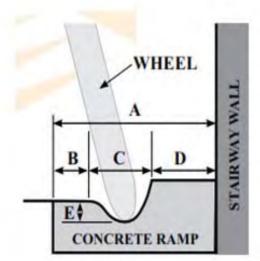


Bike Channels

- Concrete cast-in-place
- Stair tread slope ~25%







A = B + C + D

B = 30-50mm (1.2-2 in)

C = 80-120mm (3.1-4.8 in) concrete ramp preferred; metal channel: min: 100mm (4 in.); max: 200mm (8 in.)

 $D \ge 200mm (8 in)$

E = 30mm (1.2 in) - 40mm(1.5 in) (with metal channel)

After Cycling England's "Design Portfolio B.10 Wheeling Channels" diagram.





Pedestrian Bridge Layout and Tie-ins

- Follow elevator column
- Build false wall or room option
- Other concepts?

Restrooms



Size and Service Level

Project replacing in kind

Location Options:

- Incorporated into tower stairs
 - Space is limited
 - Close proximity to elevator pedestrians (odor concerns)
- Under Grand Avenue Bridge
 - Not preferred location for structural reasons
- With County parking garage
 - Location approximately one block from tower



Priority of Aesthetic Enhancements

- What are the aesthetic priority areas for the residents of Glenwood Springs?
 - Pedestrian Bridge
 - Grand Avenue Bridge
 - Underpass Safety
 - Plaza under Grand Avenue Bridge
 - Wing Street Connection to 8th Street
 - Landscaping
 - Retaining Walls
 - Sidewalks/Streetscape Furniture



Plaza Under Grand Avenue Bridge











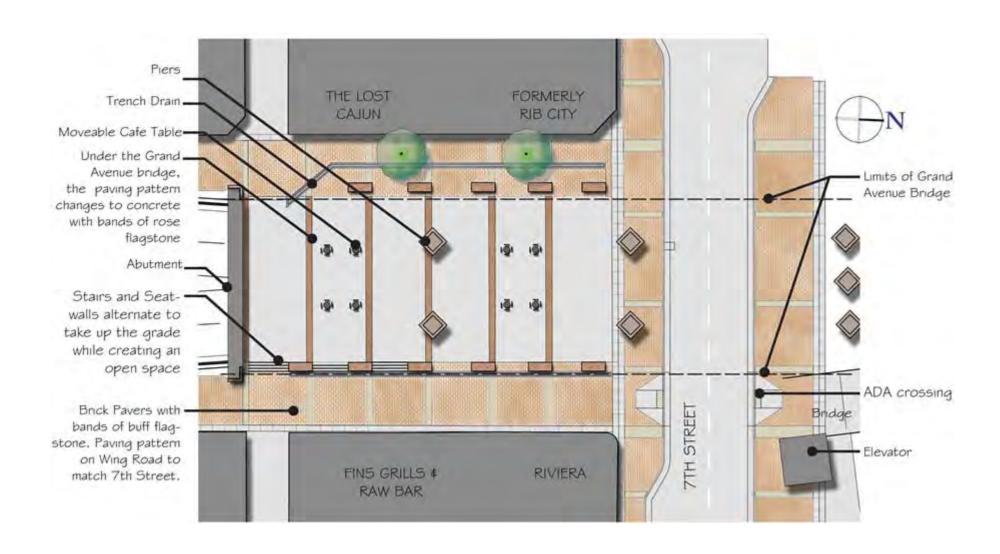
The Under Bridge Environment Design Challenge

- There are three planes to design floor, ceiling, and the in between space.
- Dark introduce light to make feel safe even in daytime.
- Security design to activate the space with right people and activities.
- Vegetation struggles to grow design primarily with hard surfaces.
- Grade changes- Plaza is 2 feet lower than Wing Street on the east.
- Tying in with the proposed sidewalk improvements on the south side of 7th Street.
- Design flexible and desirable environment.
- Make it memorable a place people want to return to.

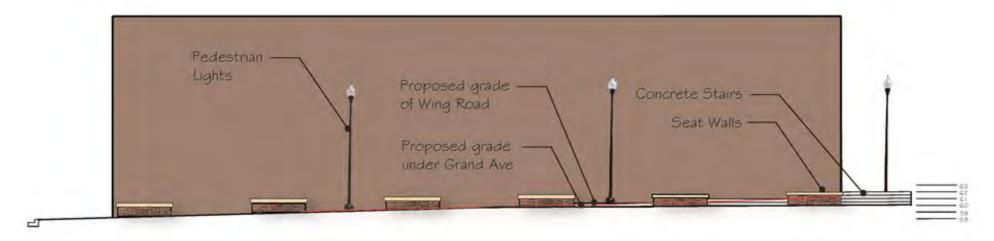


Concept One: Continuation of 7th Street Improvements

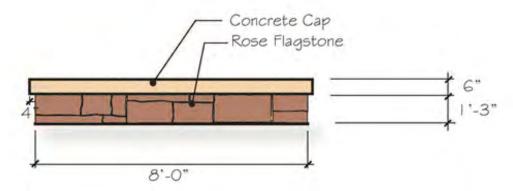








Elevation of Plaza under Grand Avenue Bridge



Stone Seat walls to alternate with concrete stairs





Concrete with bands of sandstone. Continues the feel and the paving pattern from 7th Street.



Abutment faced with sandstone.



Trench drain



Moveable Café furniture to maintain flexibility





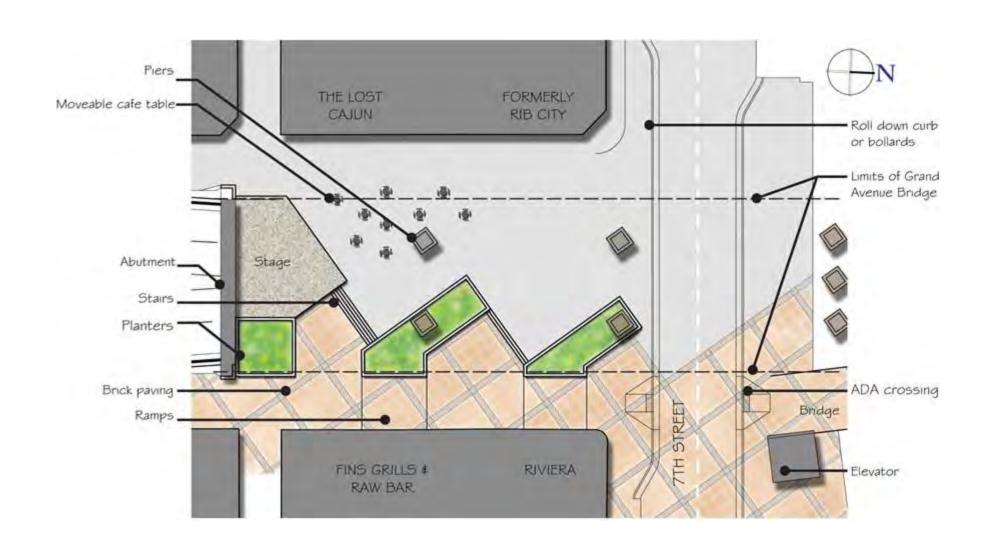




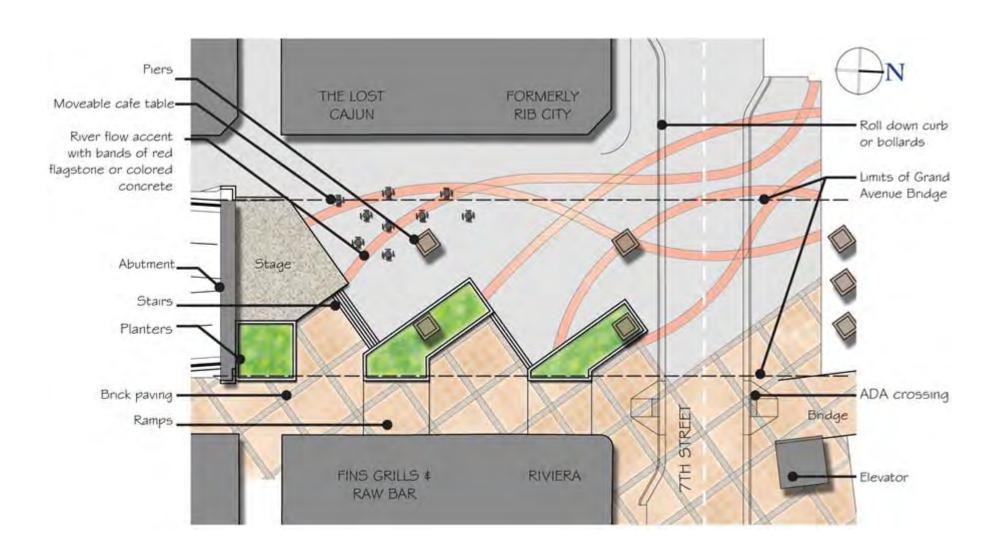


Concept Two: Connecting the plaza across 7th Street













Concrete planters



Ribbons of colored concrete



Moveable Café furniture to maintain flexibility



Abutment wall and Grand Ave walls provide an opportunity to incorporate Todd Wadsworth artwork with R.L.Wadsworth/Granite.













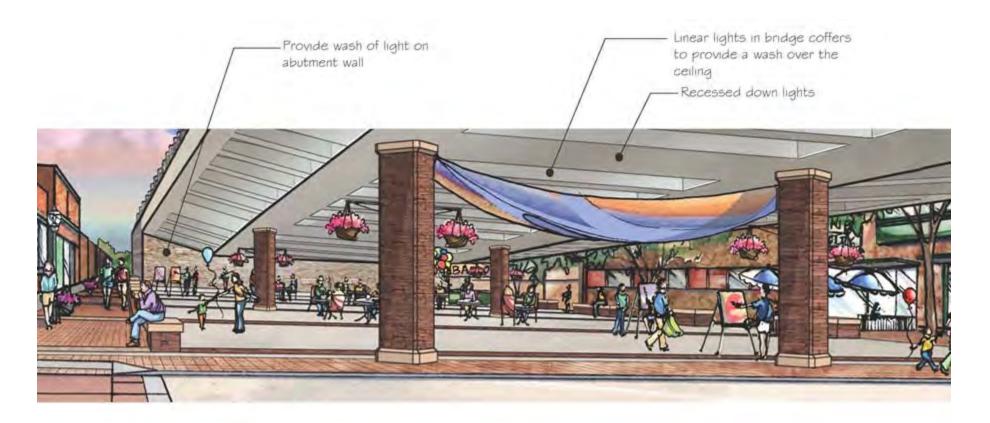
Incorporate memorial bricks in plaza







Lighting opportunities to create a dynamic, active, safe environment.





- Wing Street connections to 8th Street
 - Incorporate quality materials
 - Planter walls or planters
 - Streetscape furniture
 - Street lighting











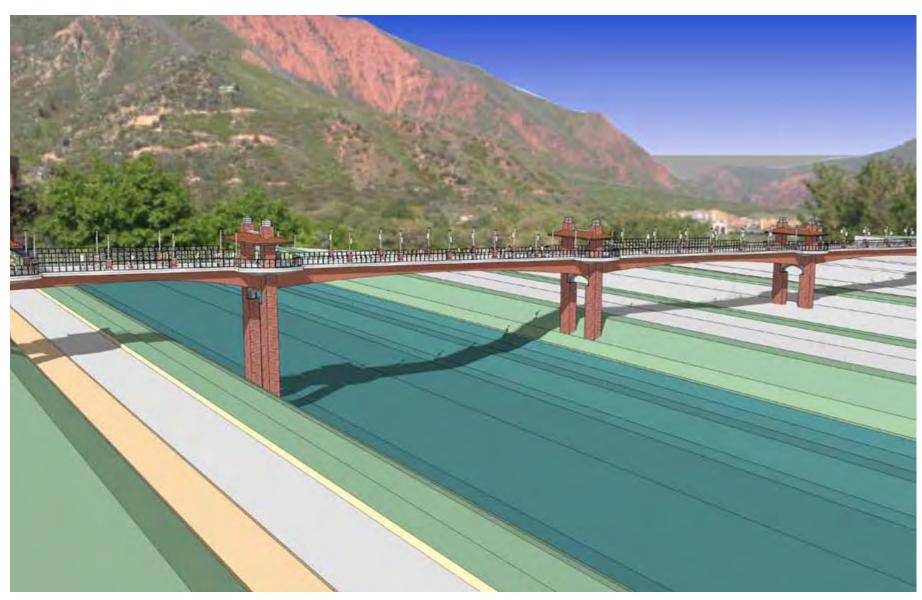




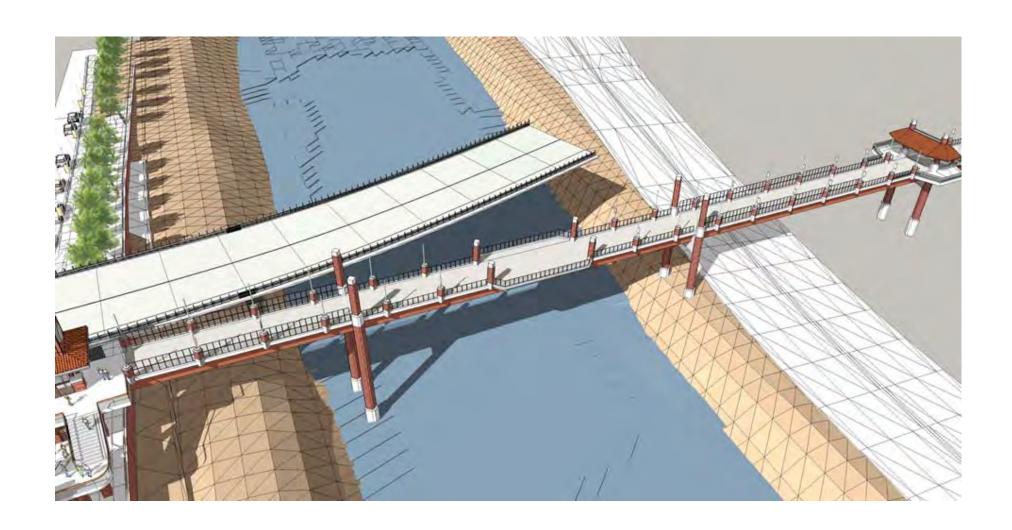




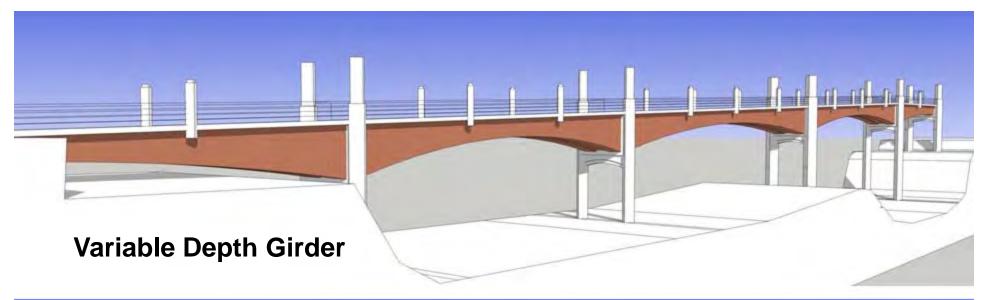


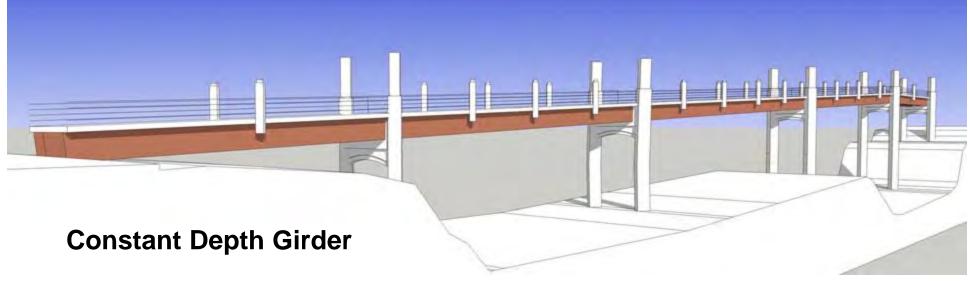
















Constant Depth Girder

- All utilities are concealed
- ■Slim profile with 5' section
- ■Easier access for maintenance

Variable Depth Girder

- 15 inch water line exposed
- Varying depth section
- More challenging to maintain





























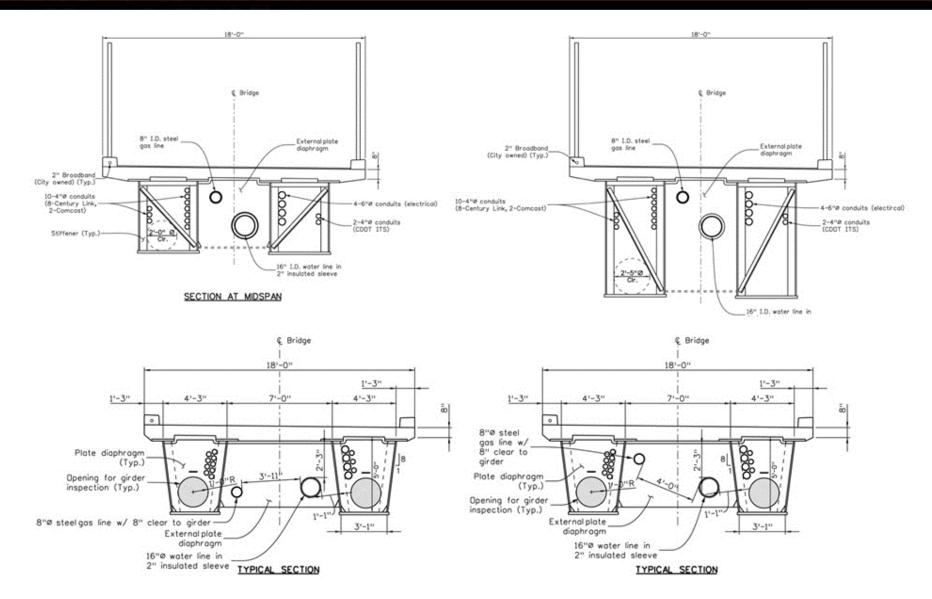










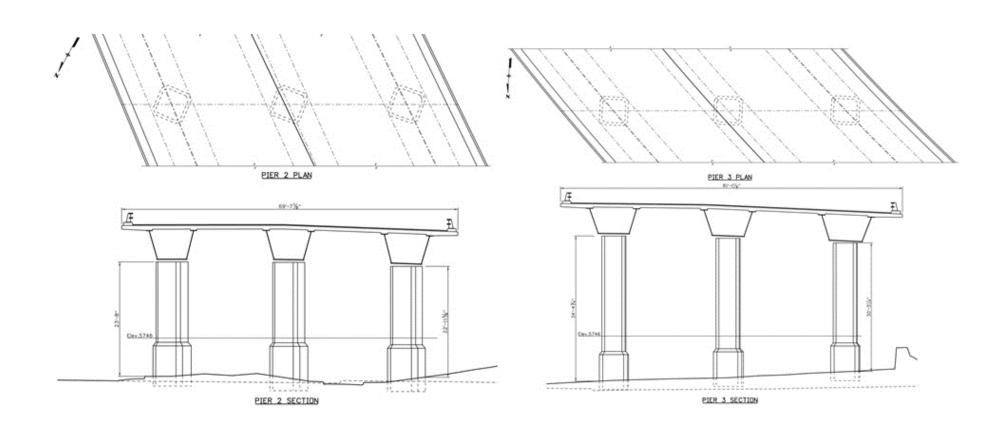




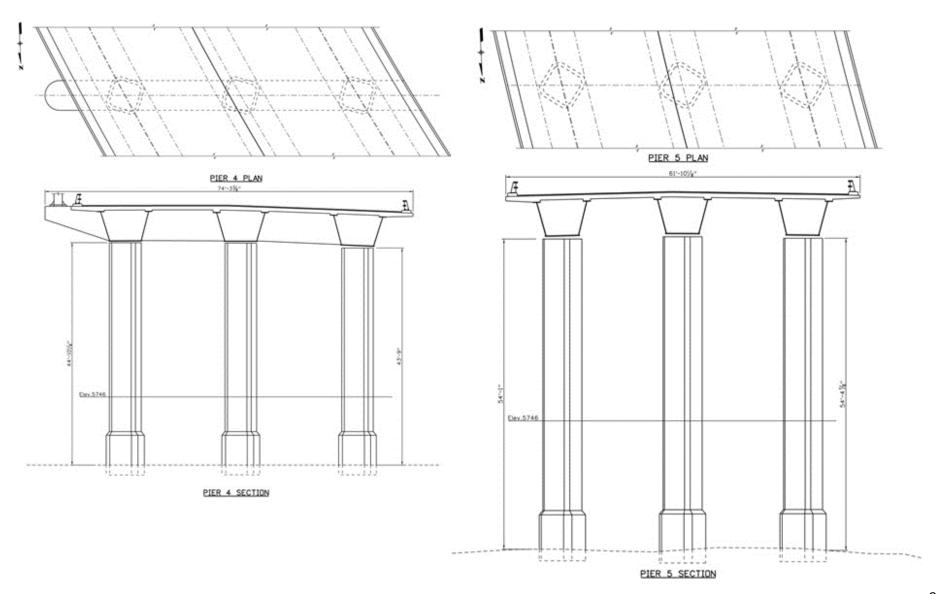
Grand Avenue Bridge



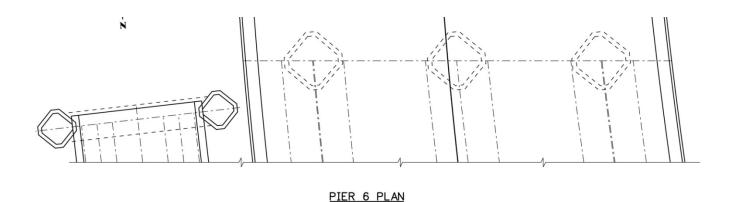


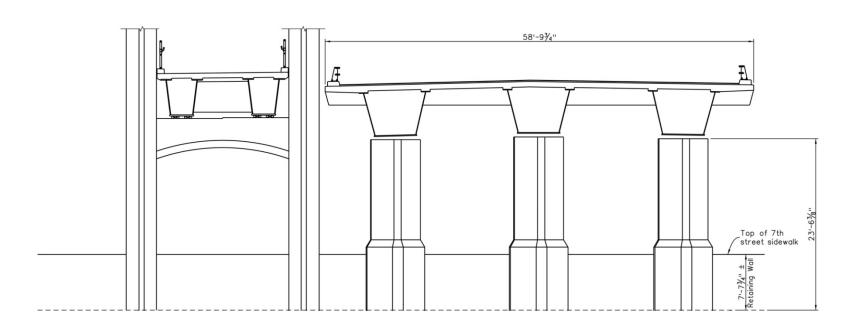




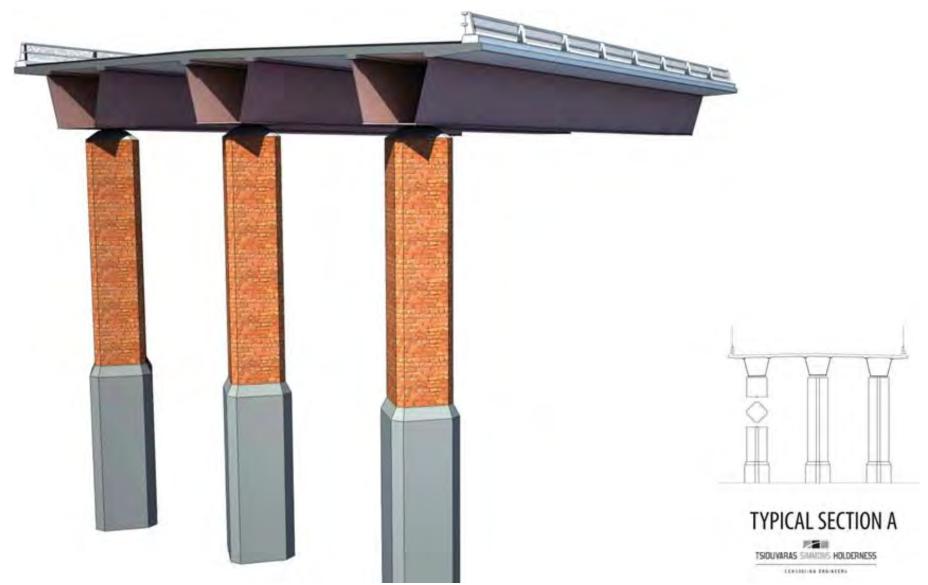








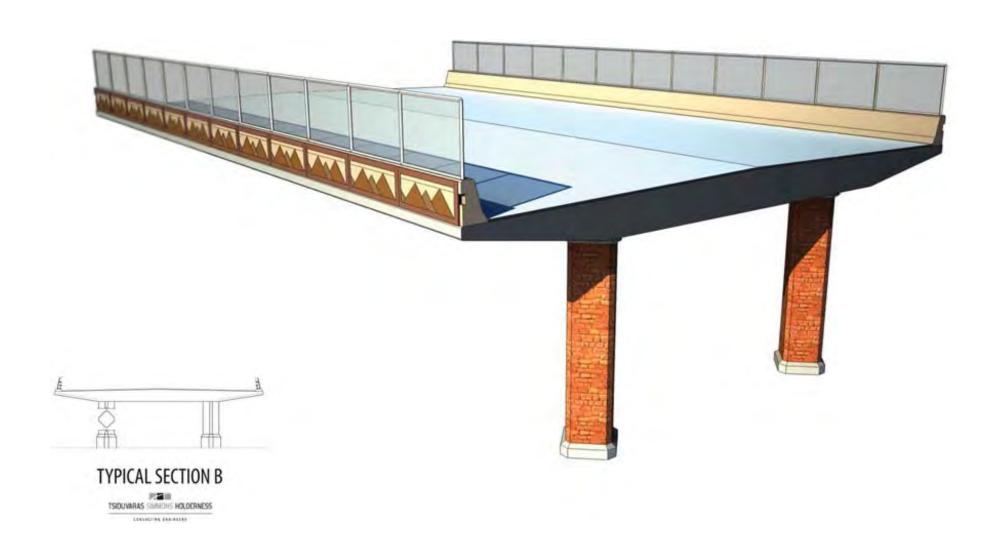




















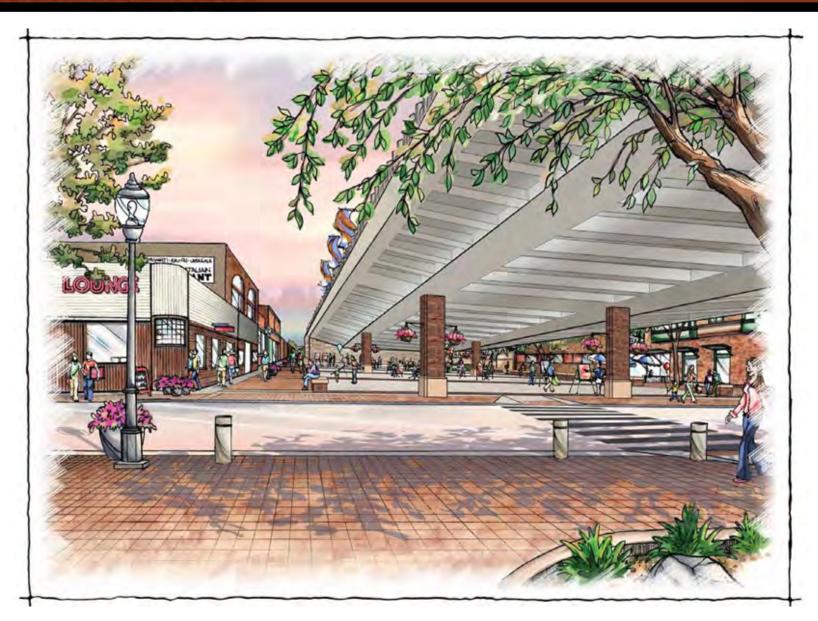






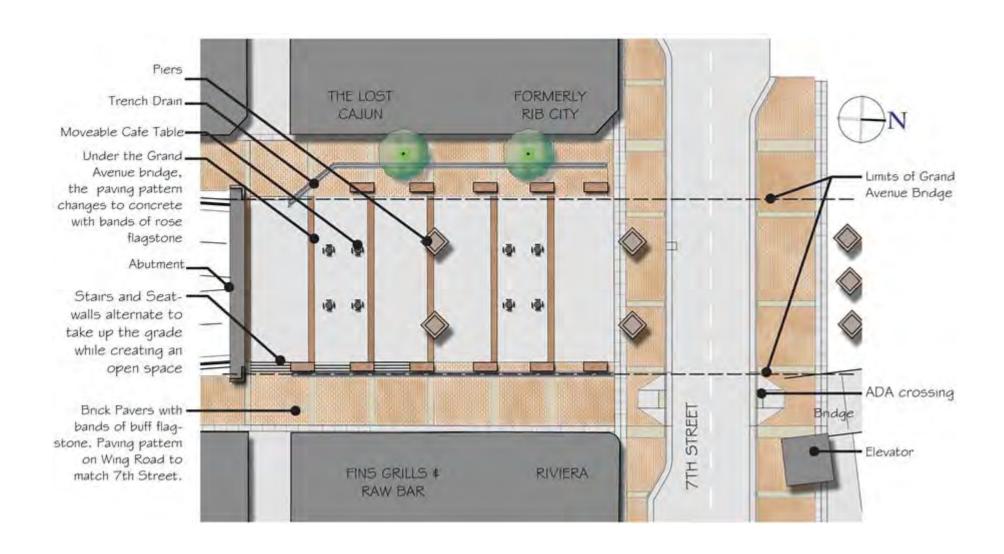








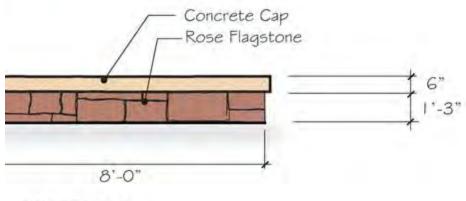
South Side Aesthetics







SECTION A-A



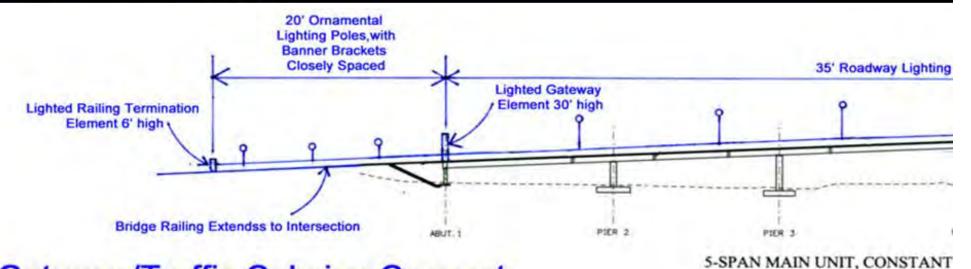
SEATWALL



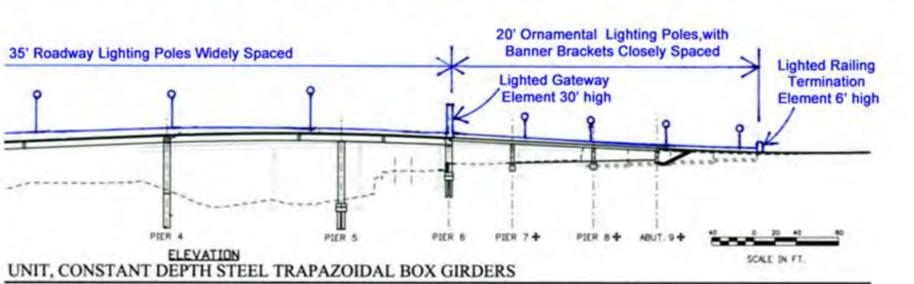
South Side Aesthetics







Gateway/Traffic Calming Concept









North Side Aesthetics

Priority of Aesthetic Enhancements

- What are the aesthetic priority areas for the residents of Glenwood Springs?
 - Pedestrian Bridge
 - Grand Avenue Bridge
 - Underpass Safety
 - Plaza under Grand Avenue Bridge
 - Wing Street Connection to 8th Street
 - Landscaping
 - Retaining Walls
 - Sidewalks/Streetscape Furniture





Character of Glenwood Springs















Character of Glenwood Springs















Landscaping







- Three landscape options
 - Traditional
 - Xeric
 - Organic

- Take into consideration
 - Appearance
 - Level of maintenance





- Landscape CharacterOption 1- Traditional
 - Formal landscaping
 - Mass plantings with landscape boulders
 - Shrubs, perennials and ornamental grasses
 - High maintenance

















Landscape Option 1- Traditional Plan







- Landscape CharacterOption 2- Xeric
 - Xeric plants
 - Alternating plantings with bands of rock mulch
 - Plantings in geometric configurations
 - Lower maintenance









Landscape Option 2- Xeric Plan





Landscaping

- Landscape CharacterOption 3- Organic
 - Free flowing landscaping
 - River cobble stream bed
 - Shrubs and ornamental grasses
 - Landscape boulders
 - Medium maintenance









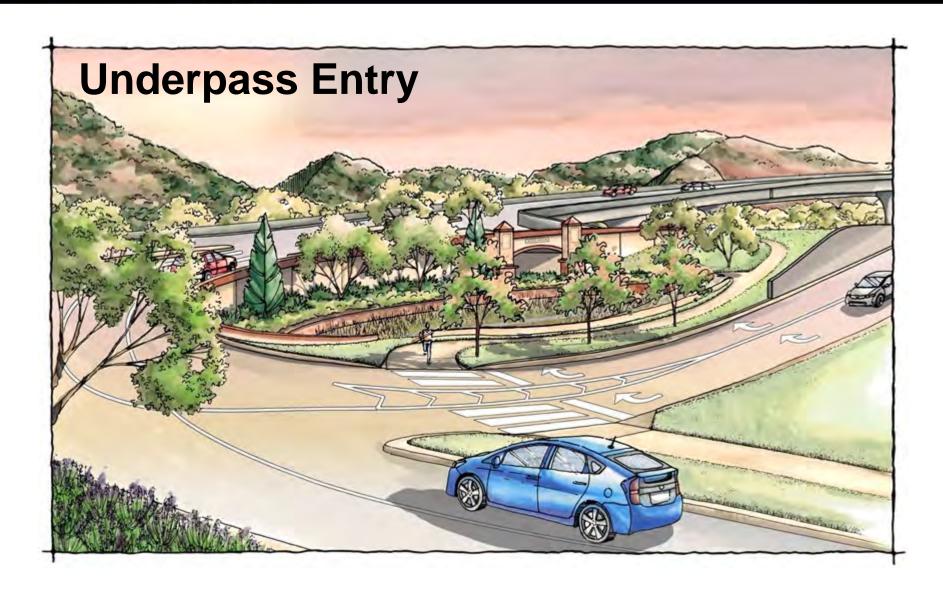




Landscape Option 3- Organic with River Cobble Stream











Underpass

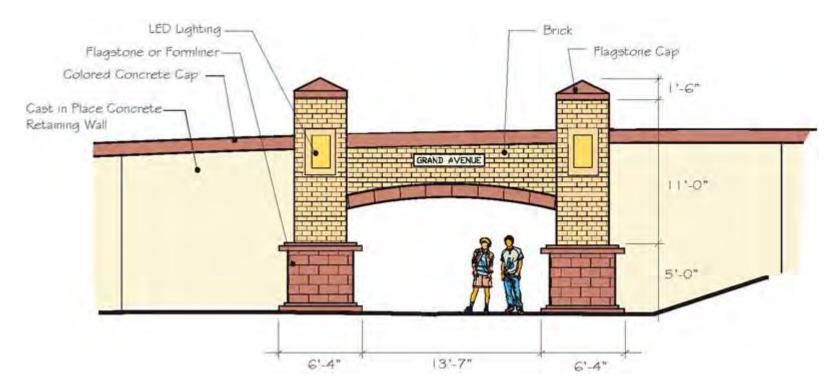
- 121 feet long
- 16 feet wide
- 8- to 9-foot clearance inside the underpass





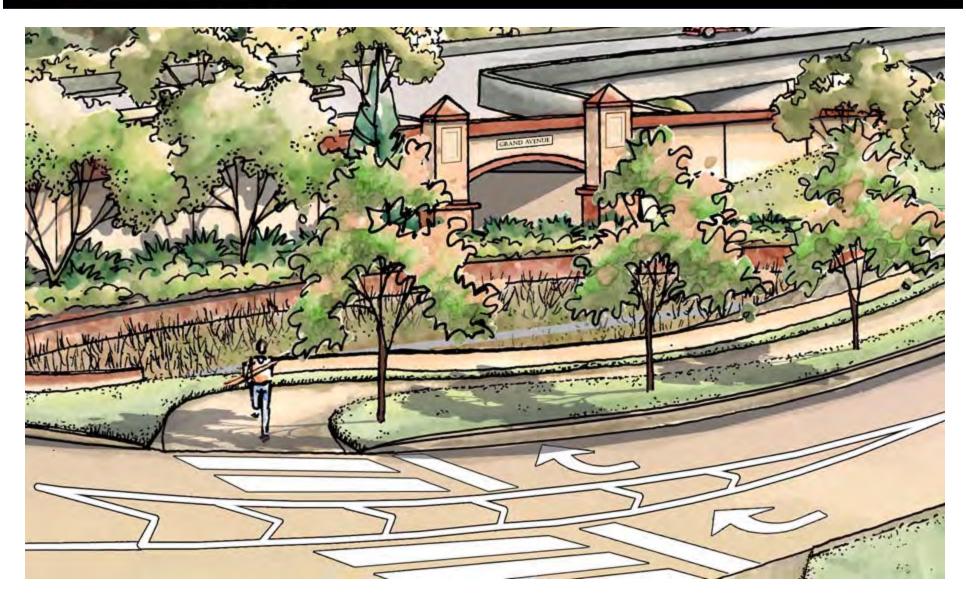
Option 1 - Historic Influence

- Monuments are designed to reflect the architecture of Glenwood Springs through color and materials
- Monuments have high end finishes
- Higher cost





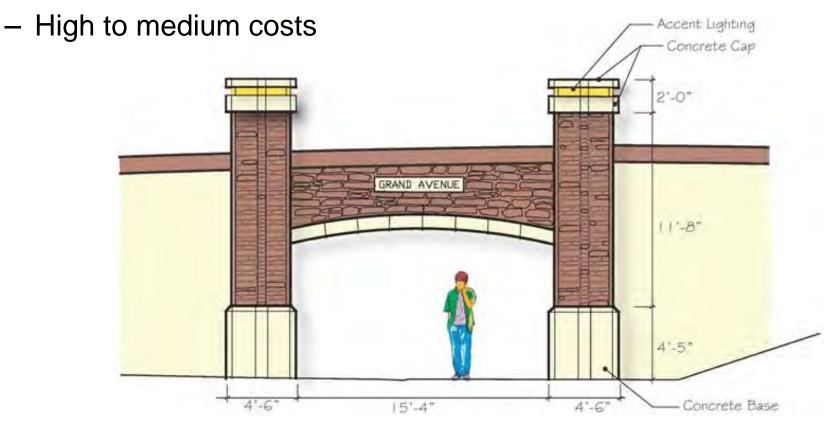








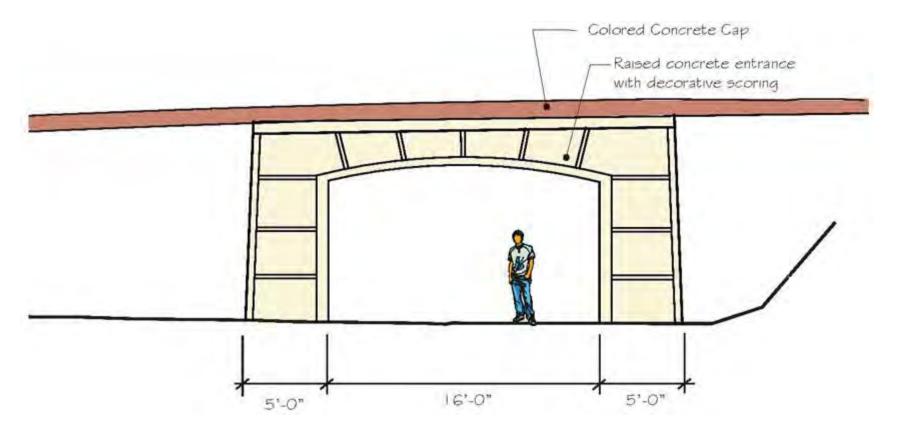
- Option 2 Continuity with Grand Avenue Bridge Design
 - Repeats the pier aesthetic for underpass monumentation creating continuity with the bridge structures
 - Monuments can be designed with flagstone or a form liner







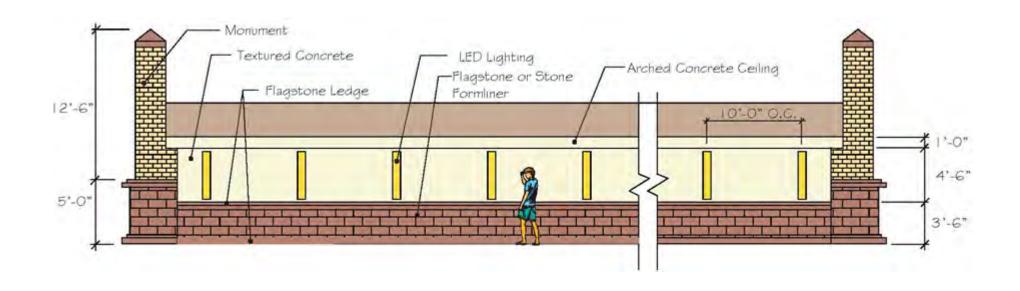
- Option 3 Enhanced Concrete Entryway
 - Raised concrete with scoring
 - Lower costs





Underpass Option 1

- Continues flagstone from monuments through underpass
- Lighting is architecturally significant
- High cost

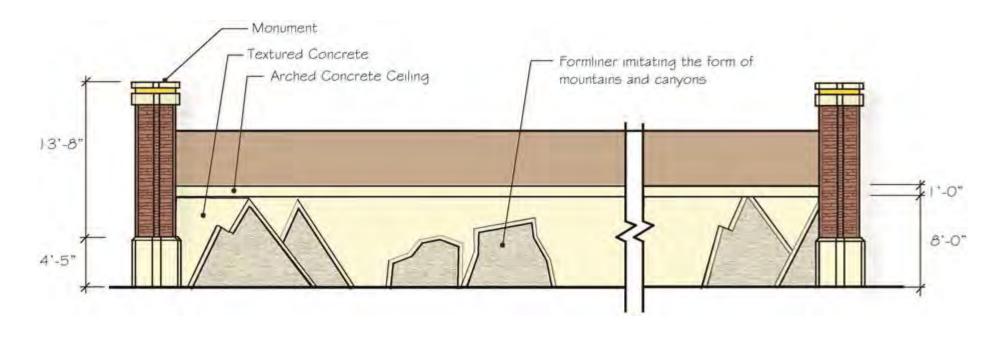






Underpass Option 2

- Form liners mimicking the form of mountains and canyons
- Medium/lower cost







- Underpass Option 3
 - Opportunity to incorporate Todd Wadsworth Artwork from R.L.Wadsworth/Granite





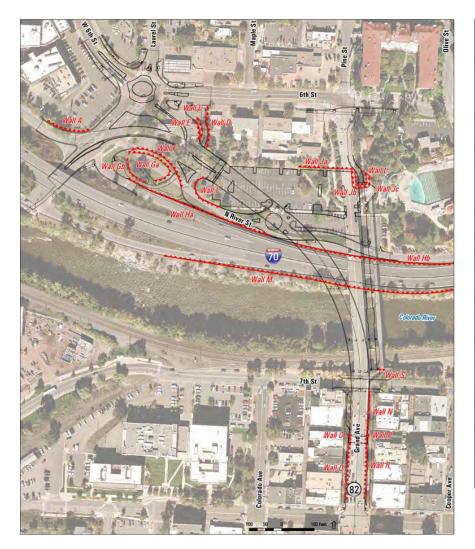








21 walls included in the Grand Avenue Project







Retains Village Inn property 2'-4' tall, 140' length Wall I

Wall J-a

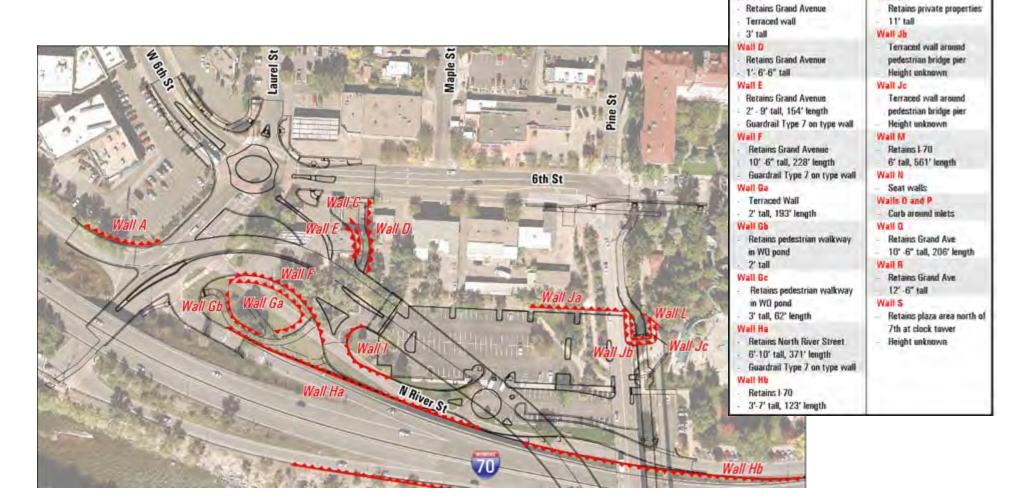
1'- 18' tall

Retains North River Street

Wall A

Wall C

Walls on the North Side







Walls on the South Side







- Aesthetic Wall Enhancements
 - Quality materials
 - Sandstone
 - Brick
 - Stone form liners
 - Brick or flagstone accents
 - Art
- Base Wall Treatments
 - Form liner



- Quality Materials
 - Stone
 - Brick
 - High cost







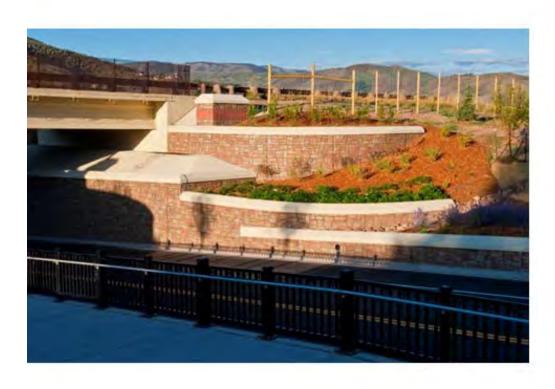








- Stone Form Liners
 - Form liners mimic stone or brick
 - Medium cost





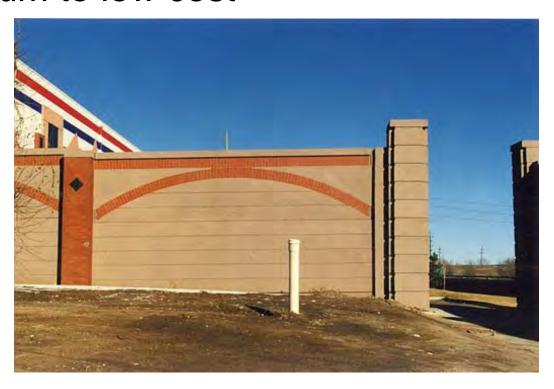








- Concrete Wall with Stone or Brick Accents
 - Accent concrete wall with brick or stone
 - Medium to low cost







- Base Form Liners
 - Variety of patterns
 - Medium/lower cost











 Opportunity to incorporate Todd Wadsworth artwork with R.L. Wadsworth/Granite













Retains North River Street

1'- 18' taff

Retains Village Inn property

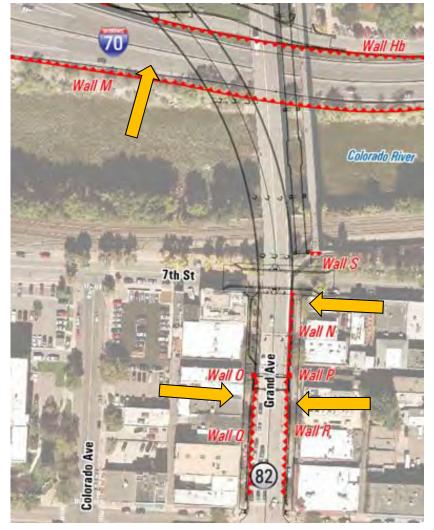
2'-4' tall, 140' length

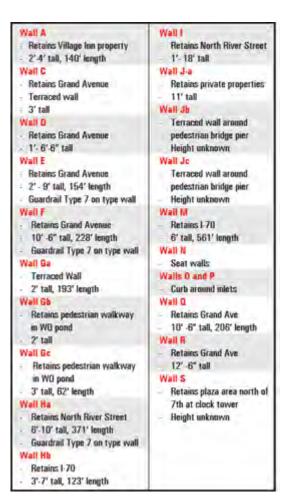
■ Walls on the north side





Walls on the south side







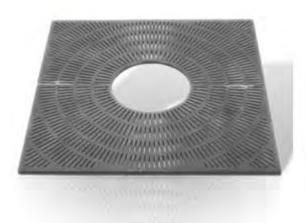


- Streetscape
 - Furniture
 - Lighting













- Wayfinding
 - Vehicular
 - Pedestrian/ bicyclist



